

PROPOSED ALTERATION and ADDITION TO EXISTING DEVELOPMENT.

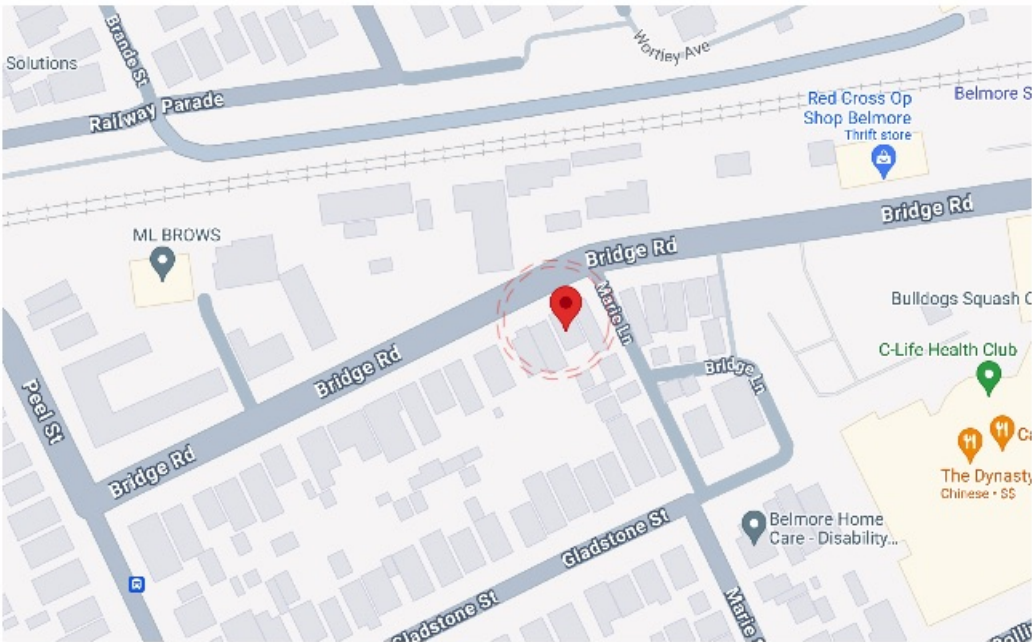
74 BRIDGE ROAD BELMORE 2192



PERSPECTIVE (impression only)

Sheet Index - COUNCIL SUBMISSION DA

DRAWING No.	DESCRIPTION	Rev
DC 01	COVER PAGE	02
DC 02	SURVEY & EXISTING SITE LAYOUT	02
DC 03	SITE PLANS	02
DC 04	FLOOR PLANS	02
DC 05	ROOF LAYOUT	02
DC 06	ELEVATIONS	02
DC 07	ELEVATIONS	02
DC 08	WINDOW & DOOR SCHEDULE	02
DC 09	SECTIONS	02
DC 10	Basix information.	02
DC 11	Sediment Erosion Plan	02



AERIAL MAP

Development Area Schedule

01. Site Area :	463 m2	
02. Total existing floor area	(b,d + e) = 25+51+61	= 137m2
03. New floor area for Dwelling	(f)	= 76 m2

DWELLING FLOOR AREAS SCHEDULE

Legend	No	Name	AREA (M2)
	a	Existing covered area	18
	b	Existing shed 01	25
	c	Existing Pergola (Demo)	11
	d	Existing outbuilding / Granny	51
	e	Existing dwelling area	61
	f	Proposed additional floor area	76
	g	Proposed Alfresco	19
	h	Garden area 01	55
	i	Garden area 02	50
	j	Garden area 03	19
	k	Garden area 04	42
	q	New concrete driveway	37

04. Total gross floor area

(02+ 03):
= 213 m2

05. Total GFA / Gross floor area

(04)/ (01): 213/ 463
= 0.46

06. Site coverage

04 + a = (213 + 18)
= 231 m2

231 / 463
= 0.50 %

07. Landscape area / Deep soils

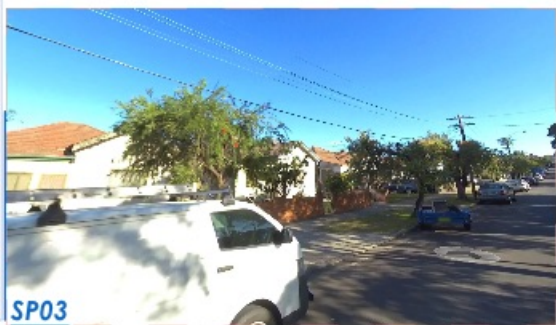
(h+i+j+k) = (55+50+19+42)
= 166 m2

166 / 463
= 0.35 %

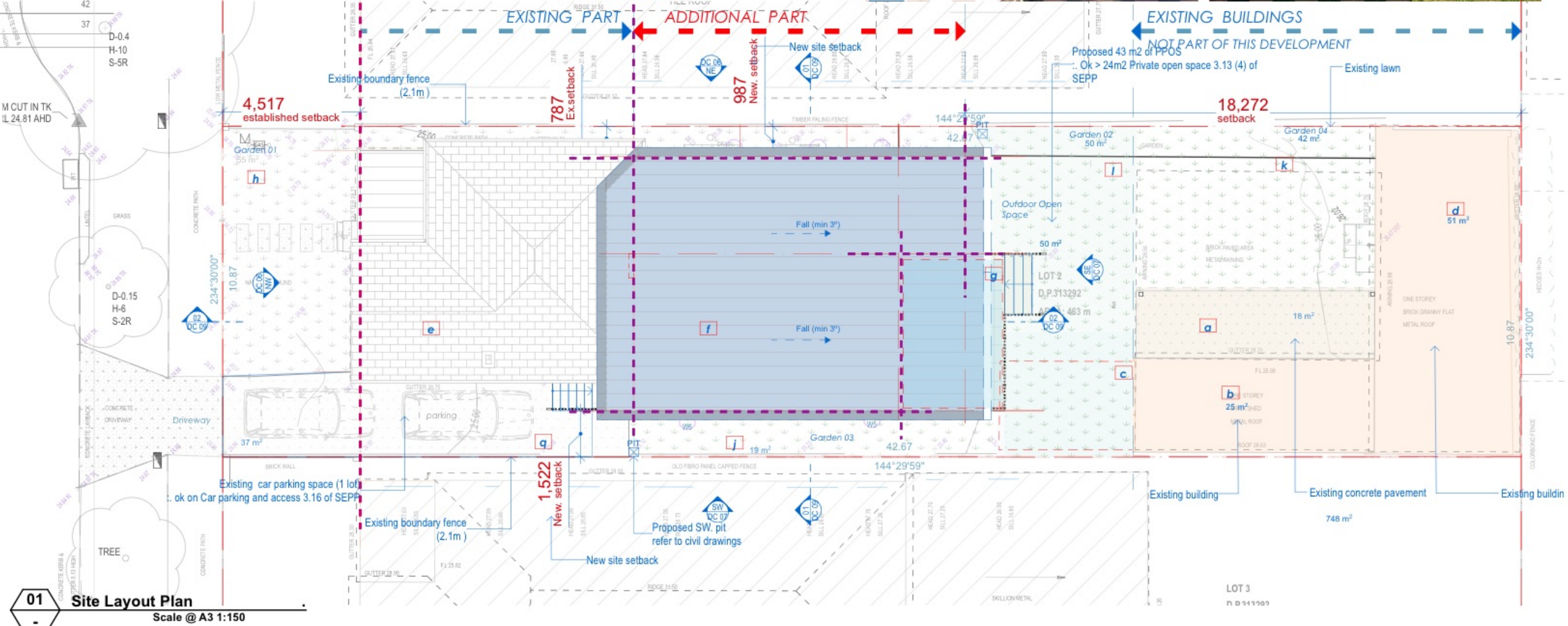
Property Details

Summary of planning controls

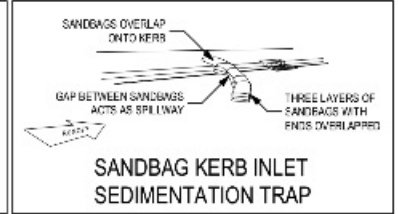
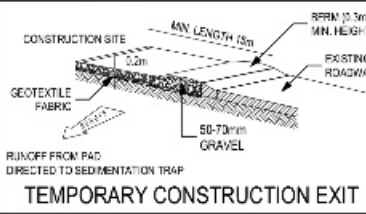
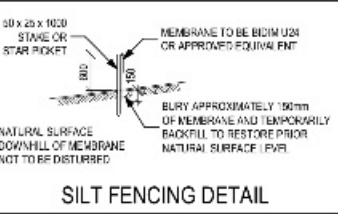
Address:	74 BRIDGE ROAD BELMORE 2192
Lot/Section /Plan No:	DP 2/ -/ DP 313292
Council:	CANTERBURY-BANKSTOWN COUNCIL
Land Zoning	R3 - Medium Density Residential: (pub. 21-12-2012)
Height Of Building	8.5 m
Floor Space Ratio	0.5 : 1
Minimum Lot Size	460 m2
Heritage	NA
Bushfire Prone Land	NA



Site Photos :



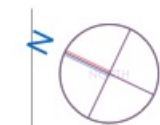
01 Site Layout Plan
Scale @ A3 1:150



	PROPERTY BOUNDARY
	BOUNDARY SETBACK
	PROPOSED
	EXISTING
	DEMOLITION
	Part 9.5 Smoke alarms OF NCC
	FINISH LEVEL
	SMOKE ALARM installed in accordance with part 9.5 of NCC
	NEW DOOR & WINDOW refer to Basis
	LIFT OFF HINGE AS PER NCC (all door for less than 1.2m; pan and doorway)
	SUN CONTROL LOUVRES refer to basis

Legend

	Building Line
	Lot boundary lines
	Articulation element
	Easement (existing)



Legend

No	DATE	AMENDMENT
01	20.09.23	Coordination for client review , Basis & Struct
02	10.04.24	Coordination for as per final set

PROPOSED ALTERATION & ADDITION TO EXISTING DWELLING
74 BRIDGE ROAD BELMORE 2192

CLIENT:
MR Choi

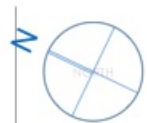
DRAWING TITLE:
SITE PLANS
DRAWN
JS
PROJECT NO.
74BB_23

DRAWING NO.
DC 03

STATUS:

SCALE: A3
1:150, 1:2

The Builder shall check all dimensions and levels on site prior to construction.
Should any error, discrepancy or omission to the design, the Builder shall be responsible for the cost of rectification.
Drawings shall not be used for construction purposes until issued for construction / working drawings.
Do not make drawings.
All boundaries and easements shall be surveyed.
The contractor (Builder) must provide a current version of BCA specification prior to commencing any work / check to ensure.
Structural framing and wall bracing to comply with AS 1684.
Termite barrier system to comply with AS 3660.
Windows and doors to comply with termite category by contract.
Check dimensions on site prior to fabrication of any items.
All drawings and working structural elements to be checked and certified by a licensed structural engineer prior to commencing any construction work.
Drawing are subjected to Copyright.



Legend

The builder shall check all dimensions and levels on site prior to construction.
Notify any errors, discrepancies or omissions to the design studio (3)
Drawings that not be used for construction purposes until issued for construction / working drawings.
Do not create drawings.
All boundaries and easements subject to survey.
Principal contractor (builder) must provide a current version of ICA specification prior to commencing any work / check to ensure.
Timber framing and wind bracing to comply with AS 1684.
Timber barrier system to comply with AS 2600.
Window and door to comply with kitemark approval by contractor.
Check dimensions on site prior to fabrication of any items.
All drawings and existing structural elements to be checked and certified by a licensed structural engineer prior to commencing any construction work.
Drawings are submitted to Council.

Legend

Existing floor : 

Additional area : 



WINDOW & DOOR TYPES SCHEDULE									
	LEVEL GROUND								
DOOR NO.	D1	D2	D4	W1	W2	W3	W4	W5	W6
THERMAL PERFORMANCE	Solid Door	BASIX; External Glass Door	NIL; Solid Door	BASIX; Louver_sun control	BASIX; Louver_sun control	BASIX	BASIX	BASIX	BASIX
O/A W x H	900×2,100	3,200×2,400	850×2,000	1,750×700	1,190×1,150	1,160×450	775×980	3,200×600	3,000×900
View from Opening Side									
COMMENTS	-; HINGED DOOR ; EXTENAL DOOR (LOCK SYSTEM)	EXTENAL DOOR (LOCK SYSTEM)	-; EXTENAL DOOR (LOCK SYSTEM)	-	-	-	-	-	-
FRL	-	-	-	-	-	-	-	-	-

01

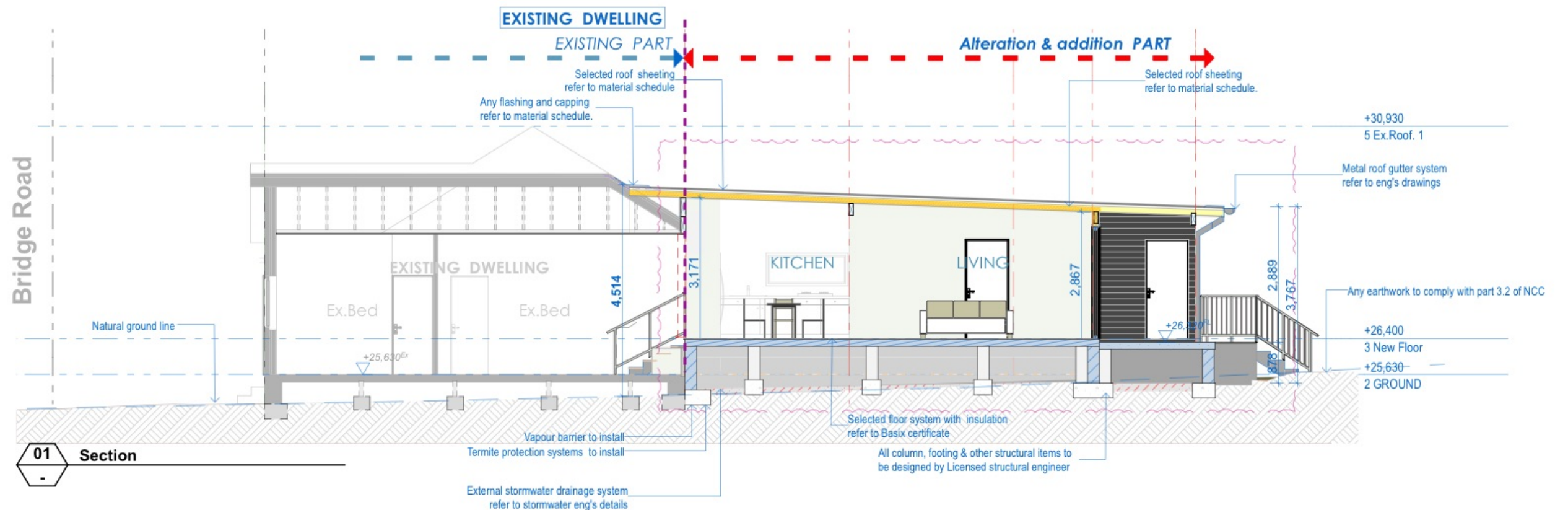
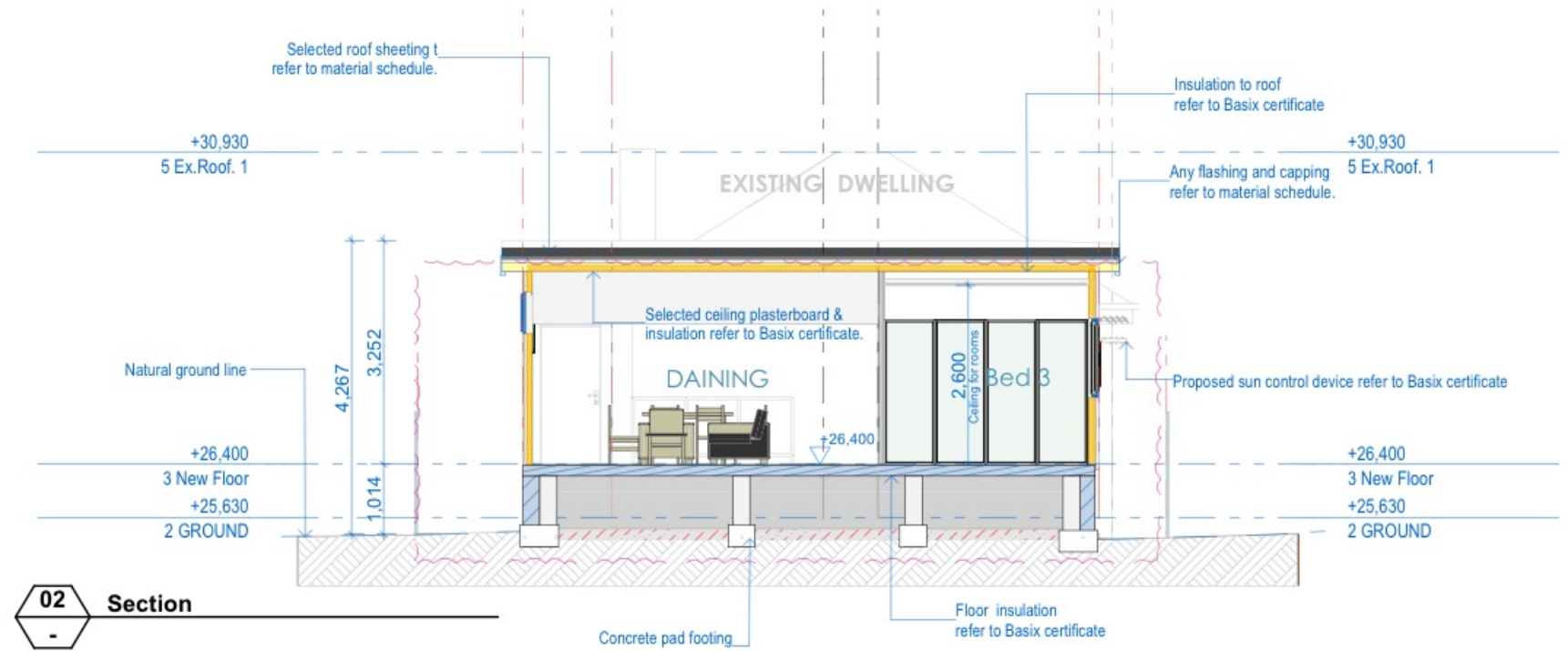
Door & window list for dwelling

Door & windows

- (compliance certificates for relevant NCC or Australian Standards to be provide by installer prior to issuing OC)
- Any sanitary compartment doors to be provided with lift off type hinges as per the requirements of 10.4.2 Construction of sanitary compartments of NCC
- All glazing used in buildings must comply with Part 8.2 glazing of NCC (current version)
- All glazing system must be carried out site measure prior to manufacturing - Compliance certificate to be provide for OC by manufacture & installs.
- Any glazing for doorway or opening, to comply with part 8.4.7 of NCC for visibility of glazing ; min. 20mm opaque band (shown ash 'GM')
- Protection of openable windows to be comply with part 11.3.7 of NCC by contractor on site with widow & door supplier.

Legend

Existing floor : 
Additional area : 



Legend

No.	DATE	AMENDMENT
01	20.09.22	Coordination for client review, Basix & Struct
02	10.04.24	Coordination for as per final set

PROPOSED ALTERATION & ADDITION TO EXISTING DWELLING
74 BRIDGE ROAD BELMORE 2192

CLIENT:
MR Choi

DRAWING TITLE:
SECTIONS
DRAWN
JS
PROJECT NO.

DRAWING NO.
DC 09

STATUS:

SCALE: 1:100

The Builder shall check all dimensions and levels on site prior to construction.
Should any errors, discrepancies or omissions to the design develop (DSD).
Drawings shall not be used for construction purposes until issued for construction / working drawings.
Do not make drawings.
All boundaries and setbacks subject to survey.
The contractor (Builder) must provide a current version of BCA specification prior to commencing any work / check to ensure.
Structural framing and wall cladding to comply with AS 1684.
Termite barrier system to comply with AS 3660.
Monitor and store to comply with landscape category by contractor.
Check dimensions on site prior to fabrication of any items.
All drawings and existing structural elements to be checked and certified by a licensed structural engineer prior to commencing any construction work.
Drawing are subjected to Copyright.

Project address	
Project name	Alteration & addition to existing dwelling
Street address	74 BRIDGE Road BELMORE 2192
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP913292
Lot number	2
Section number	N/A
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Mr Jung Kim	
ABN (if applicable):	

Fixtures and systems	Show on DA Plans	Show on CC/CBC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CB Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor/s, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
	✔	✔	✔
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	n/a	N/A	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A	
external wall, framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raised ceiling, plastered/bulkhead roof: framed	ceiling: R1.74 (up); roof: foil backed blanket (75 mm) medium solar absorbance 0.475 - 0.70)		

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			
Each window or glazed door with improved frames, or gypcrete low-e glass, or clear/gal-galpac-lazing, or tinted/gal-galpac-lazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC must be substantiated.	✓	✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

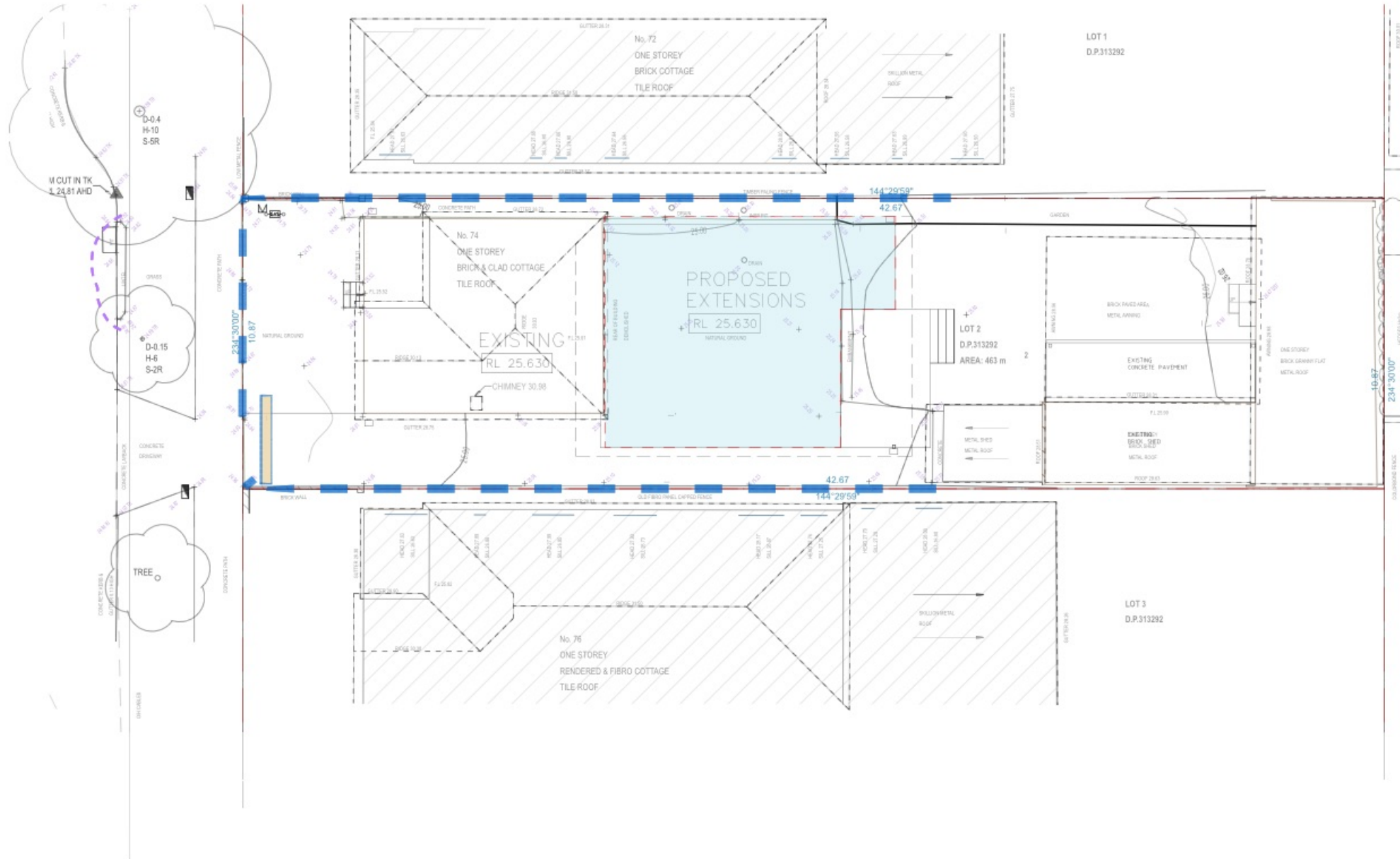
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m ²)	Overhadowing height (m)	Overhadowing distance (m)	Shading device	Frame and glass type			
W1	NE	1.23	3	3	awn/ verandah/ pergiatibakony >=450 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W2	NE	1.37	3	3	awn/ verandah/ pergiatibakony >=450 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W3	NE	0.53	3	3	none	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W4	SE	0.76	0	0	none	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W5	SW	1.92	0	0	none	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
D2	SE	7.68	0	0	awning (fixed) >=900 mm	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			
W6	SW	2.7	0	0	none	improved aluminium, single pyrolytic low-e, (U- value: 4.48, SHGC: 0.46)			

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a  in the "Show on OA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a  in the "Show on CCDCD plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development can be issued.	

Property Details

Summary of planning controls

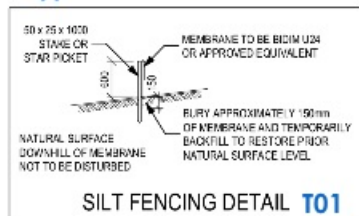
Address: 74 BRIDGE ROAD BELMORE 2192
Lot/Section /Plan No: DP 2/- DP 313292
Council: CANTERBURY-BANKSTOWN COUNCIL



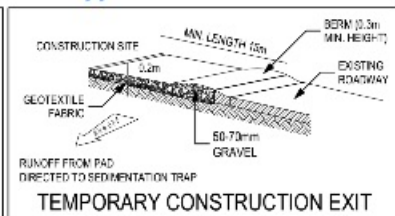
LEGEND

- DRAINAGE LINE — — — — —
EXISTING DRAINAGE LINE - - - - -
SURFACE INLET PIT [Symbol]
SILT BARRIER AROUND PIT [Symbol]
SEDIMENT FENCE [Symbol]
EXISTING LEVEL 13.00 DESIGN LEVEL * 11.25
DIRECTION OF NATURAL WATER FLOW [Symbol]
DOWN PIPE [Symbol] DP
EXIST. DOWN PIPE [Symbol] EXDP
SPREADER PIPE [Symbol] SP
CLEANING EYE [Symbol] CE
EMERGENCY OVERFLOW [Symbol]
FLOOR GRATE 100Ø [Symbol] FG

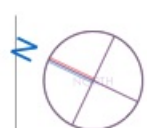
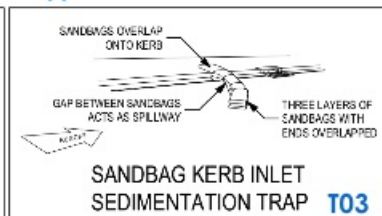
Type : T01



Type : T02



Type : T03



Legend

No	DATE	AMENDMENT
01	20.09.22	Coordination for client review - Basis & Struct
02	10.04.24	Coordination for as per final set

PROPOSED ALTERATION & ADDITION TO EXISTING DWELLING
74 BRIDGE ROAD BELMORE 2192

CLIENT:
MR Choi

DRAWING TITLE:

Sediment Erosion Plan

DRAWN

JS

PROJECT NO.
74BB_23

DRAWING NO.
DC 11

STATUS:

SCALE: A3
1:200, 1:100

The Builder shall check all dimensions and levels on site prior to construction.
If any error, discrepancy or omission to the design shall be reported to the design team.
Drawings shall not be used for construction purposes until issued for construction / working drawings.
Do not scale drawings.
All boundaries and contours subject to survey.
The contractor (Builder) must provide a current version of BCA specification prior to commencing any site work / check to ensure.
Shower panelling and wall cladding to comply with AS 1488.
Remit to owner to comply with AS 3600.
Work and store to comply with local regulatory by contractors.
Check dimensions on site prior to fabrication of any items.
All drawings and working structural elements to be checked and certified by a licensed structural engineer prior to commencing any construction work.
Drawing are subjected to Copyright.